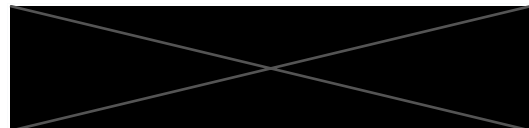





Insight Home Inspection Services
(865) 274-0808
www.inspectedbyinsight.com
info@inspectedbyinsight.com

Home Inspection Report



Inspected By: Insight Home Inspection Services 

Prepared For: 



Table of Contents

| | |
|----------------|----|
| General | 4 |
| Site | 5 |
| Exterior | 8 |
| Roofing | 9 |
| Garage | 10 |
| Electrical | 13 |
| HVAC | 16 |
| Plumbing | 21 |
| Interior | 26 |
| Kitchen | 32 |
| Bathrooms | 38 |
| Laundry | 48 |
| Structure | 50 |
| Report Summary | 56 |

Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.



Property Type

Single Family

Stories

One

Approximate Age

New

Bedrooms/Baths

3/2

Furnished

No

Occupied

No

Weather

Overcast

Temperature

Cool

Soil Condition

Wet

Utilities On During Inspection

Electric Service, Water Service

People Present

Client

General Comments

**Comment 1
Information**

Condo/Townhouse inspection; no representation made to the condition of the exterior, hoa controlled items / areas, and common areas.



The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Driveway

Concrete

Condition: Satisfactory

**Comment 2
Information**

Driveway shows some settlement cracking but is still usable.



Walkways

Concrete

Condition: Satisfactory

**Comment 3
Information**

Reference pics.



Steps/Stoops

Concrete

Condition: Satisfactory

**Comment 4
Information**

Reference Pictures.



Patios/Decks

Wood

Condition: Satisfactory

**Comment 5
Information**

Reference Pictures





Site Comments

Comment 6
Information

Condo/Townhouse inspection; no representation made to the condition of the exterior, hoa controlled items / areas, and common areas.

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering

Vinyl Siding

Condition: Satisfactory

Comment 7 Information

Recommend caulking around windows, doors, corners, and utility / exterior penetrations as needed.

Exterior Comments

Comment 8 Information

Condo/Townhouse inspection; no representation made to the condition of the exterior, hoa controlled items / areas, and common areas.

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Comment 9
Information

Condo/Townhouse inspection; no representation made to the condition of the exterior, hoa controlled items / areas, and common areas.

Garage

Garage Type

Attached

Condition: Marginal

Garage Size

2 Car

Door Opener

Chain Drive

Condition: Satisfactory

Opener Safety Feature

Light Beam, Force Sensitive

Condition: Satisfactory

Garage Comments

Comment 10

Information

Garage reference pics.





Comment 11
Information

Garage floor shows some settlement cracking but is still usable.

Comment 12
Information

Walls and ceiling show typical drywall / drywall tape cracks.

Comment 13

Deficiency

The garage door does not automatically close and hinge adjustment appears needed. A self-closing garage door is a fire and life-safety feature that helps prevent the spread of fire, smoke, and carbon monoxide from the garage into the living space. Recommend adjustment/repair by a qualified technician.



Comment 14

Deficiency

GFCI receptacles recommended at garage area.



The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service

Underground

Comment 15 Information

Underground electric service in place.



Main Disconnect Location

Meter Box

Comment 16 Information

Main electrical disconnect is located at the electrical meter and service panel.



Service Panel Location

Exterior

Service Line Material

Aluminum

Condition: Satisfactory

Service Amperage

125 amps

Service Panel Ground

Unknown Not Visible

Branch Circuit Wiring

Non-Metallic Shielded Copper, Stranded Copper

Condition: Satisfactory

**Comment 17
Information**

Representation made to visible wiring only. No representation made to any wiring or electrical connections, components, and hardware behind walls and not readily accessible areas.

Overcurrent Protection

Breakers

Condition: Satisfactory

GFCI/AFCI Breakers

Yes

Condition: Repair or Replace

**Comment 18
Deficiency**

GFCI / AFCI breaker would not trip. Recommend further electrician evaluation and repair as needed.



Smoke Detectors

Hard Wired Interconnected

Condition: Satisfactory

Electrical Comments

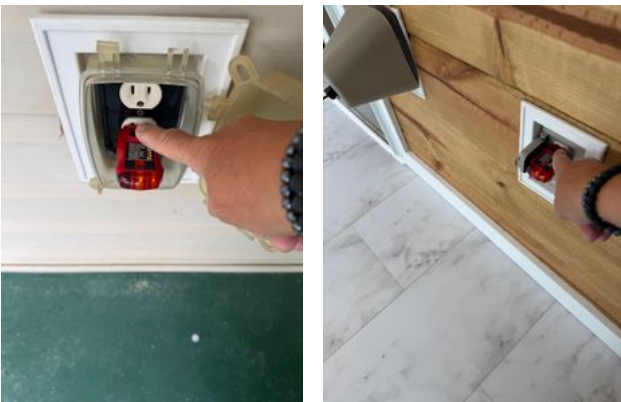
Comment 19
Information

Panel size appeared to be compatible to service size.



Comment 20
Deficiency

GFCI receptacles and weatherproof receptacle covers recommended at exterior.



HVAC System Type
Central Split System

Thermostat
Digital
Condition: Satisfactory

**Comment 21
Information**

The thermostat was operational at the time of inspection.



Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location
Attic

Type of Equipment
Forced Air
Condition: Satisfactory

Manufacturer
Intertek

Heating Fuel
Gas
Condition: Marginal



Comment 22
Deficiency

Recommend installing a drip leg at gas line for the furnaces.



Approximate Age

11 years

Filter Type

Disposable

Condition: Satisfactory

Comment 23
Information

Reference pictures.



Type of Distribution

Flexible Ducting

Condition: Satisfactory

**Comment 24
Information**

Representation made to visible and readily accessible ductwork.

Condensate Drainage

To Exterior

**Comment 25
Deficiency**

The HVAC condensate drain terminated less than 12 inches from the home's foundation. This can allow water to collect near the structure and contribute to moisture intrusion or foundation settlement over time. Recommend extending the drain line to discharge further away from the home.

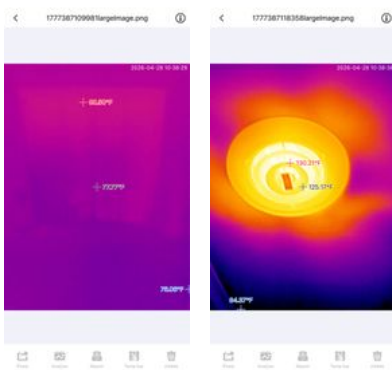


Heating Comments

**Comment 26
Information**

HVAC was in normal working order at the time of the inspection. An HVAC technician evaluation and cleaning can extend the life of the units. These photos represent the temperature differences between the intake and output.





Comment 27
Deficiency

Improperly installed flue connection with visible gap at furnace. Potential for exhaust gas leakage. Recommend repair.



Comment 28
Deficiency

Flex duct improperly secured at air handler. Tape used in lieu of proper fastening. Air leakage likely. Recommend correction.



Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source

Electric

Type of Equipment

Split System

Condition: Satisfactory

Condenser Make

Intertek

Condenser Approximate Age

7 years

Cooling Comments

Comment 29 Information

HVAC was in normal working order at the time of the inspection. A periodic HVAC technician evaluation and cleaning can extend the life of the units. These photos represent the air difference between an intake and output, which is well within means.



Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection, hidden or intermittent leaks may not be detectable during a visual inspection. The inspector cannot guarantee against future leaks. Recommend monitoring and consulting a licensed plumber if leaks occur after inspection.

Water Service

Public

Supply Pipe Material

Copper

Condition: Satisfactory

Comment 30 Information

Representation made to visible plumbing only.

Location of Main Water Shutoff

Garage

Comment 31 Information

Main interior water shut off is located in the garage.

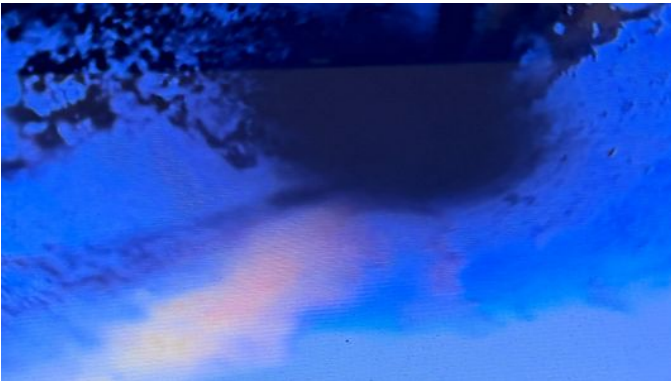
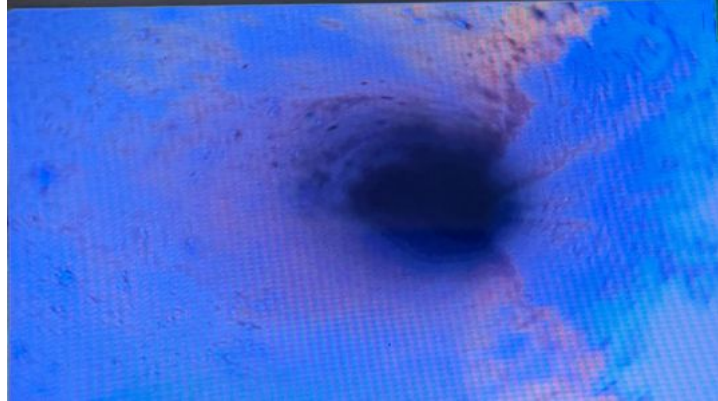


Sewer System

Public

Comment 32
Information

Sewer scope revealed lateral lines were clear and functional as designed.



Waste Pipe Material

PVC

Condition: Satisfactory

Comment 33
Information

Representation made to visible plumbing only.



Location of Fuel Shutoff

At Meter

**Comment 34
Information**

Main fuel shut off is located at the gas meter.



Plumbing Comments

**Comment 35
Information**

Water pressure is satisfactory between 40-80 psi.



Comment 36

Deficiency

Exterior hose bib leaks during operation. Recommend repair / replacement as needed.



Water Heater

Manufacturer

US Craftsman

Fuel

Natural Gas

Comment 37

Deficiency

Recommend installing drip legs at gas supply lines as needed. None visible.



Capacity

40 gal

Approximate Age

5 years

Temp & Pressure Relief Valve

Present With Blow Off Leg

Condition: Satisfactory

Fuel Disconnect

Within Sight of Equipment

Water Heater Comments

Comment 38 Information

Water heater(s) was/were in normal working order at time of inspection. An expansion tank is recommended.



The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors

Tile, Carpet, Wood

Condition: Satisfactory

Comment 39 Information

Floor coverings throughout showed normal wear, scratches, and scuffs, but were in overall satisfactory condition.

Walls

Painted Drywall

Condition: Further Evaluation Required

Comment 40 Information

Interior walls and ceilings showed normal wear, typical cosmetic cracks, some nail pops, staining, and drywall settling cracks, but were in overall satisfactory / functional condition.

Comment 41 Deficiency

Moisture damage noted at wall base/corner. Likely ongoing or recurring. Source unknown. Recommend evaluation and repair.



Window Types

Double Hung

Condition: Satisfactory

Window Materials

Vinyl

Entry Door Types

Hinged

Condition: Satisfactory

Entry Door Materials

Steel

Interior Door Materials

Masonite

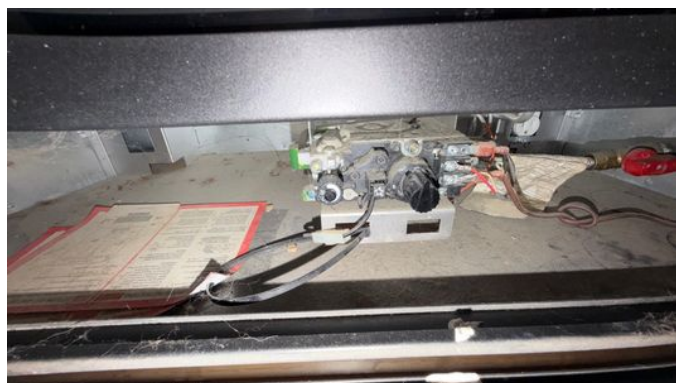
Fireplace

Gas Burning

Condition: Further Evaluation Required

**Comment 42
Information**

Gas fireplace was not in service at time of inspection. (Gas was turned off/pilot not lite)



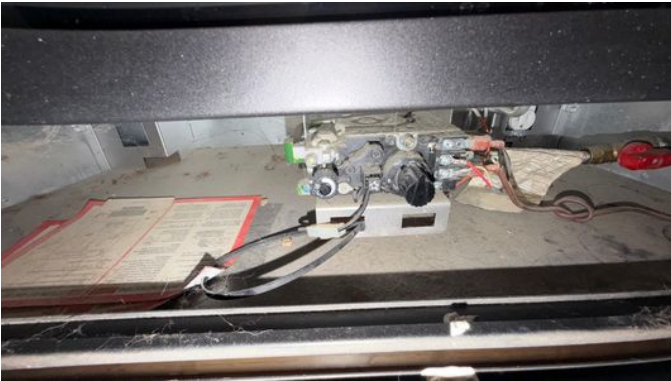
Interior Comments

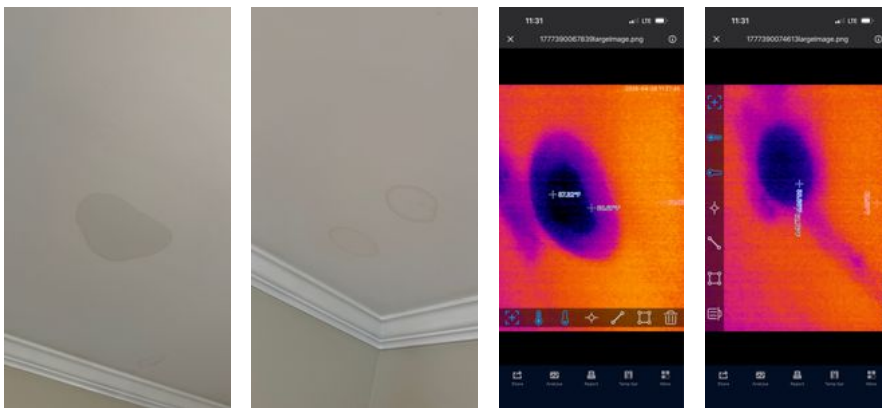
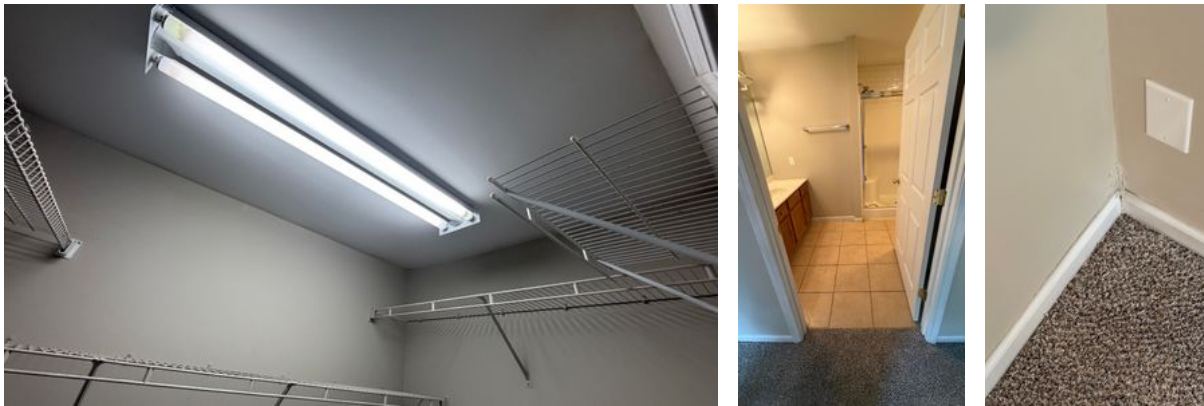
Comment 43
Information

Interior room reference pics.



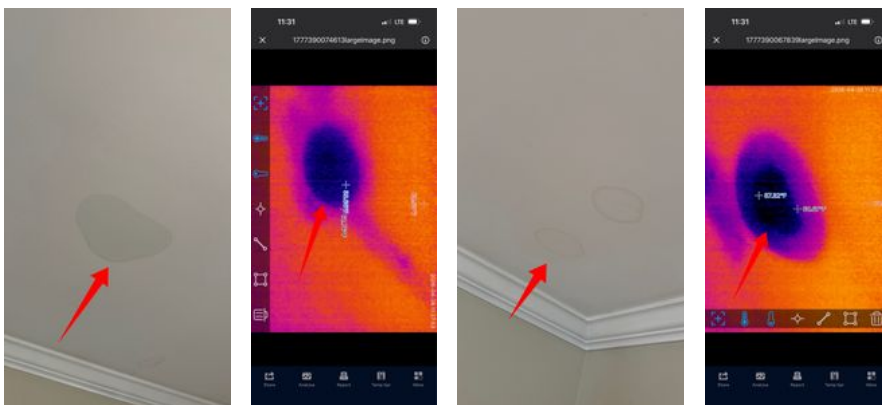






Comment 44
Deficiency

Ceiling is actively wet with visible staining. Source unknown. Recommend immediate evaluation and repair.



Cabinets

Wood

Condition: Satisfactory

Comment 45 Information

Cabinets show normal wear.

Countertops

Laminated

Condition: Satisfactory

Comment 46 Information

Recommend caulking / sealing countertop edges and backsplash when needed.



Comment 47 Information

Countertops show normal wear.

Sink

Double

Condition: Marginal

Comment 48 Information

No leaks observed under sink at time of inspection.

Dishwasher drain line did not perform a visible high loop to create a trap under sink.

Comment 49
Information

Moisture stains present at cabinet. No moisture observed at time of inspection.



Kitchen Comments

Comment 50
Information

Kitchen reference pic.





Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range

General Electric

Condition: Marginal

Comment 51 Information

All burners working properly at time of inspection.

Comment 52 Deficiency

No anti-tip device installed at time of the inspection. This is a child safety concern.



Refrigerator

Frigidaire

Condition: Satisfactory

Dishwasher

General Electric

Condition: Satisfactory

Microwave

Samsung

Condition: Satisfactory

Disposal

Pulverator

Condition: Satisfactory

Appliances Comments

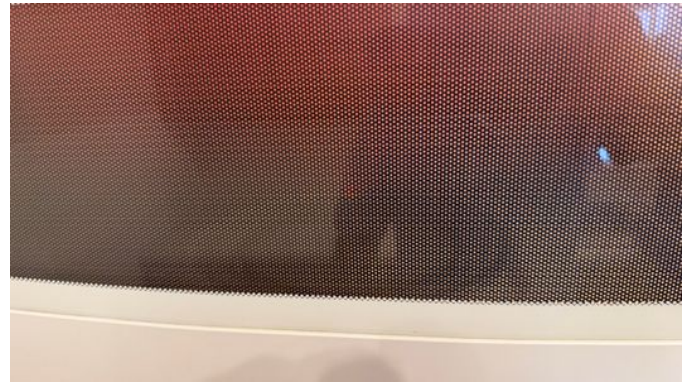
Comment 53
Information

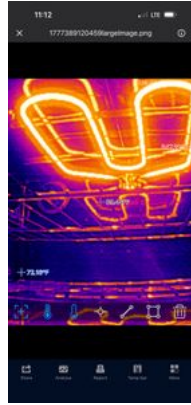
Appliances tested for operation, working or not. Quality or extent of operation not part of testing or inspection.

**** The dishwasher (if present) is ran for one cycle to check for leaks and operation. Additional cycles are not ran to verify longevity of drainage. The drain hose is not removed to verify plug is out of disposal.

Comment 54
Information

Appliance Reference Pictures





Bathroom #1

Location

Hallway

Bath Tub

Recessed

Condition: Marginal

**Comment 55
Information**

Tub drain plug needs repair / adjustment to function properly.



Shower

In Tub

Condition: Marginal

**Comment 56
Information**

Shower head leaks during operation.



Sink(s)

Single Vanity

Condition: Satisfactory

**Comment 57
Information**

Recommend caulking / sealing countertop edges and backsplash when needed.



**Comment 58
Information**

No leaks observed under sink(s) at time of inspection.

Toilet

Standard Tank

Condition: Marginal

**Comment 59
Information**

Missing toilet base caps, they help protect the bolts from corrosion and prevent dirt or moisture from collecting around them.



Comment 60
Information

Recommend caulking ceiling toilet at floor location.



Shower Walls

Fiberglass

Condition: Satisfactory

Floor

Tile

Condition: Satisfactory

Comment 61
Information

Area in need of regular caulk / grout maintenance.



Ventilation Type

Ventilator

Condition: Satisfactory

GFCI Protection

Outlets

Condition: Repair or Replace

Comment 62

Deficiency

GFCI receptacles recommended within 6' of water sources. (Kitchen, bathroom (s), laundry room, etc.)

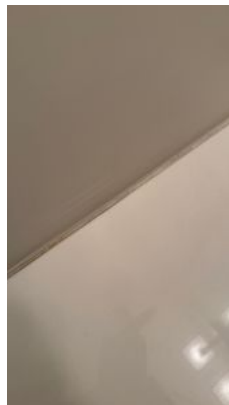


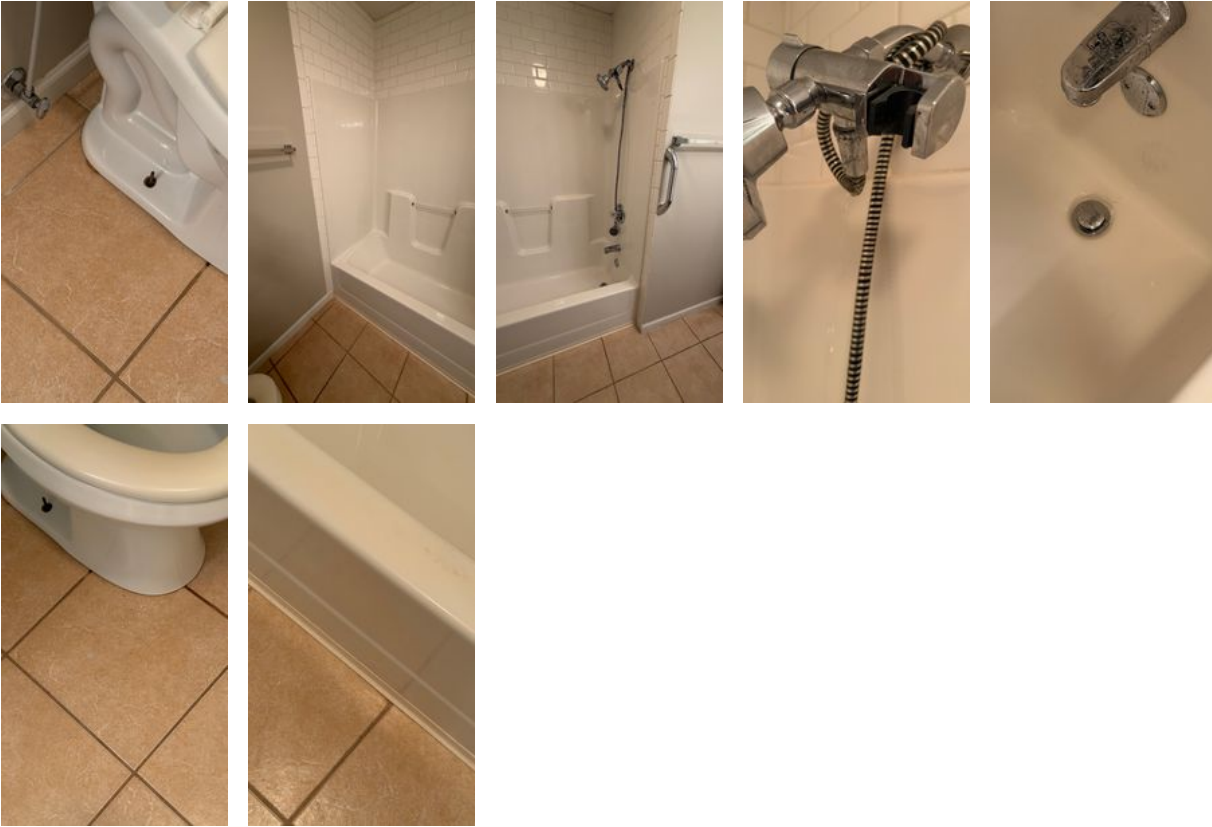
Bathroom #1 Comments

Comment 63

Information

Bathroom reference pics.





Bathroom #2

Location

Master Bedroom

Shower

Stall

Condition: Marginal

Comment 64
Information

Shower head leaks during operation.



Sink(s)

Single Vanity

Condition: Satisfactory

Comment 65
Information

Recommend caulking / sealing countertop edges and backsplash when needed.



Comment 66
Information

No leaks observed under sink(s) at time of inspection.



Comment 67
Information

Moisture stains present at cabinet. No moisture observed at time of inspection.



Toilet

Standard Tank

Condition: Satisfactory

Comment 68
Information

Missing toilet base caps, they help protect the bolts from corrosion and prevent dirt or moisture from collecting around them.

Shower Walls

Fiberglass

Condition: Satisfactory

Floor

Tile

Condition: Satisfactory



Comment 69
Information

Area in need of regular caulk / grout maintenance.



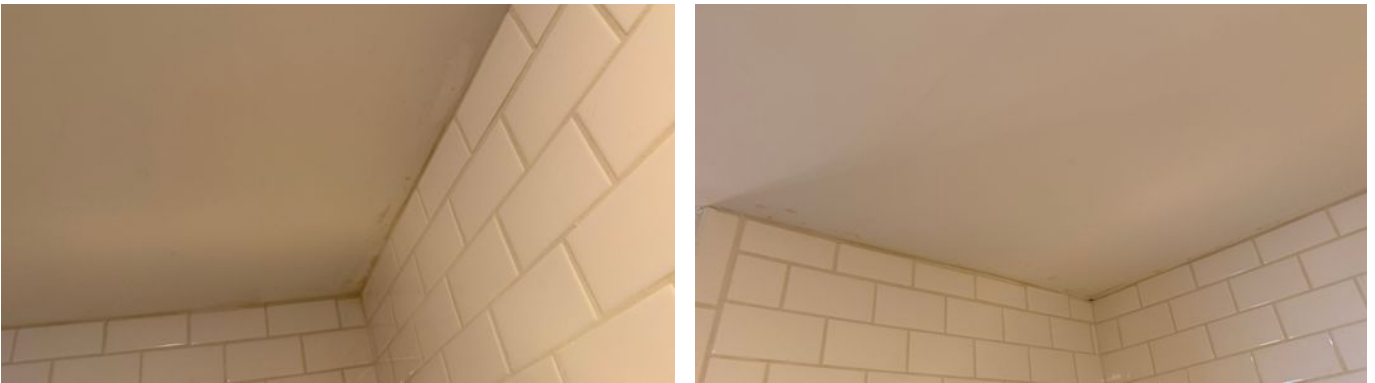
Ventilation Type

Ventilator

Condition: Marginal

Comment 70
Information

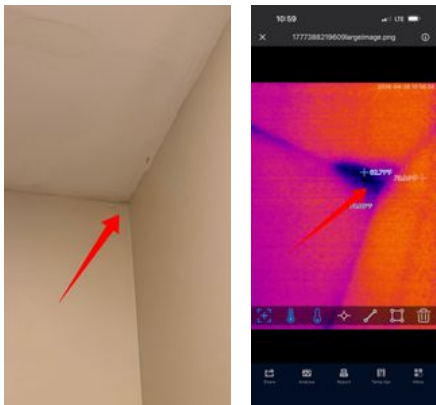
The bathroom ceiling above the tub/shower shows signs of moisture damage. Further evaluation and repair are recommended.



Comment 71

Deficiency

Active moisture noted at master bathroom ceiling above toilet. Thermal anomaly and visible damage present. Source unknown. Recommend immediate evaluation and repair.



GFCI Protection

Outlets

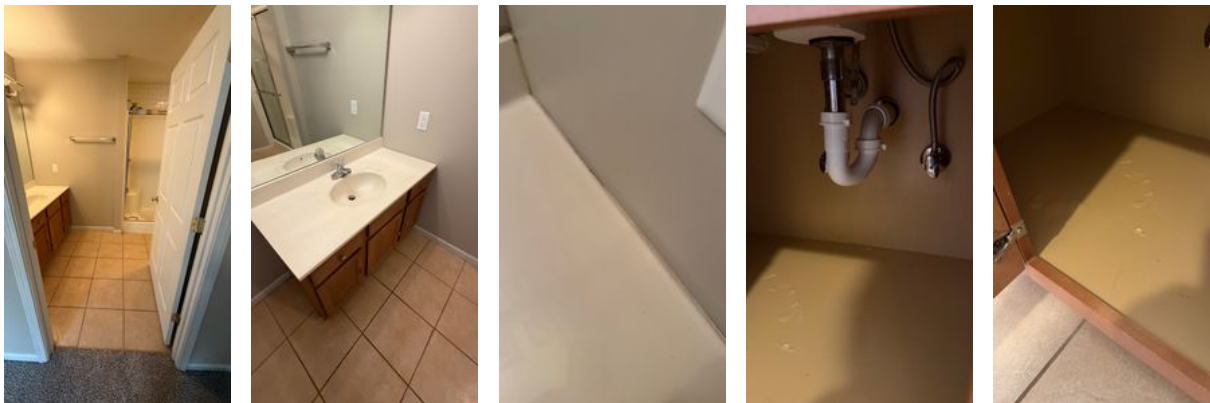
Condition: Satisfactory

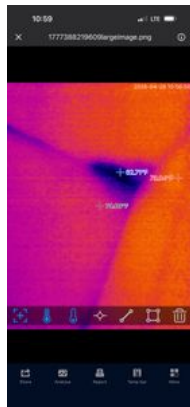
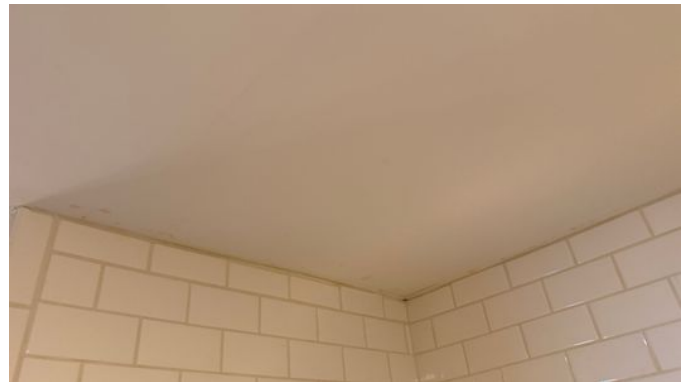
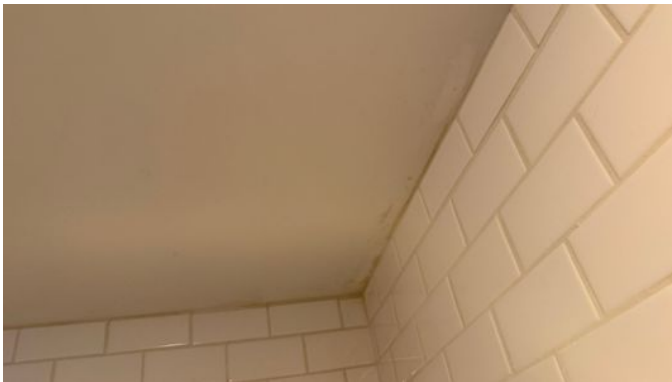
Bathroom #2 Comments

Comment 72

Information

Bathroom reference pics.





Dryer Venting

To Exterior

Condition: Further Evaluation Required

Comment 73 Information

Recommend verifying dryer vent properly exhausts to exterior and is free of lint / debris. Recommend having dryer vent cleaned as needed. All of dryer venting is not visible or readily accessible.

GFCI Protection

No

Condition: Repair or Replace

Comment 74 Deficiency

GFCI receptacles recommended within 6' of water sources. (Kitchen, bathroom (s), laundry room, etc.)



Laundry Hook Ups

Yes

Condition: Further Evaluation Required

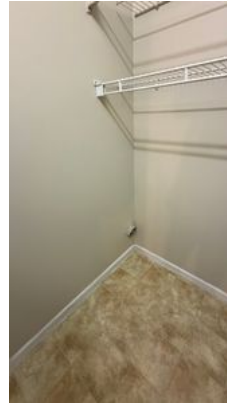
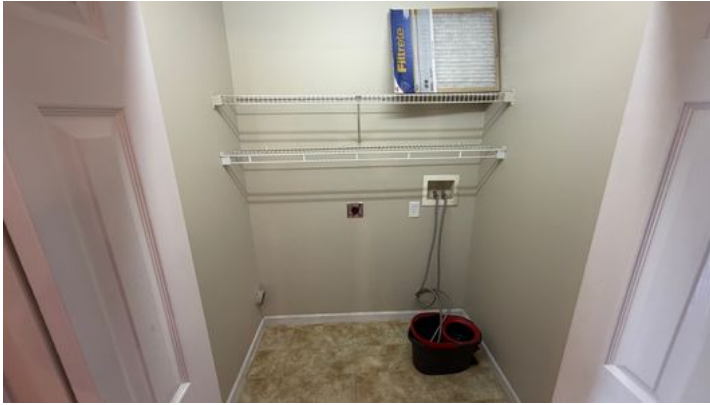
Comment 75 Information

Not tested.

Laundry Comments

Comment 76
Information

No appliances present, connections only-drains not tested.



The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types

Slab on Grade

Wall Structure

Not Inspected

Comment 77 Information

No representation made to the condition of the covered walls, or not readily accessible areas.

Structure Comments

Comment 78 Information

Foundation (stem) wall not visible, not evaluated.

Concrete floor is not visible due to finish floor coverings.

Attic

Visual inspection of the accessible attic space to assess framing, insulation, ventilation, moisture conditions, and mechanical components present at the time of inspection.

Inspector Will Observe:

- Roof framing and sheathing condition
- Attic insulation type and distribution
- Ventilation (soffit, ridge, gable, or mechanical)
- Evidence of moisture, leaks, staining, or organic growth
- Ductwork, wiring, exhaust terminations, and plumbing vents

Access Requirements:

To be considered accessible, the attic must have:

- Minimum opening size: 22 inches by 30 inches
- Minimum vertical clearance: 30 inches of headroom over at least 30 square feet of space
- Attic access must not be located in closets or obstructed by framing or mechanicals.

Limitations:



Inspection is limited to areas that are safe and readily accessible.

The inspector does not disturb insulation, walk on trusses, or enter unsafe or restricted areas.

Hidden damage, air sealing, and structural integrity of concealed components are not evaluated.

Temperature extremes and low clearance may restrict visibility.

Attic Entry

Garage

Roof Framing Type

Wood Trusses

Condition: Satisfactory

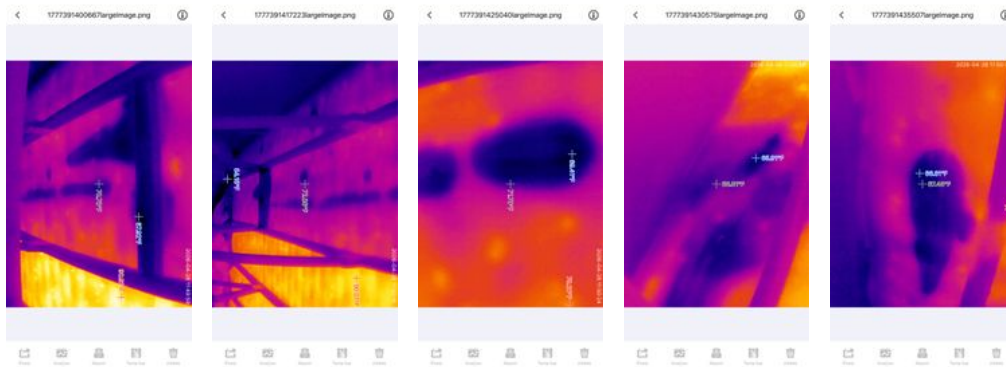
Roof Deck Material

Oriented Strand Board, Gypsum

Condition: Further Evaluation Required

**Comment 79
Deficiency**

Thermal anomalies noted at roof sheathing/drywall interface consistent with possible moisture intrusion. Recommend further evaluation.



Vent Risers

PVC

Condition: Satisfactory

Insulation

Blown In Fiberglass

Condition: Satisfactory



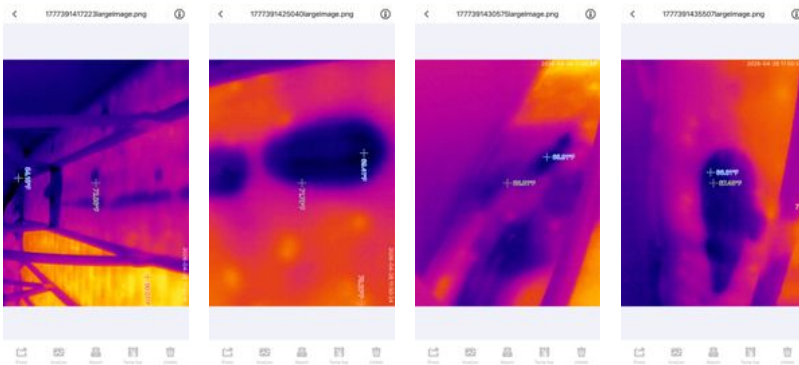
Attic Comments

Comment 80
Information

Attic reference pics.







Comment 81

Deficiency

improper fire separation with openings—needs to be sealed and corrected, not just cosmetically patched.



This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Deficiency

Garage

The garage door does not automatically close and hinge adjustment appears needed. A self-closing garage door is a fire and life-safety feature that helps prevent the spread of fire, smoke, and carbon monoxide from the garage into the living space. Recommend adjustment/repair by a qualified technician.



Garage

GFCI receptacles recommended at garage area.



Electrical: GFCI/AFCI Breakers

GFCI / AFCI breaker would not trip. Recommend further electrician evaluation and repair as needed.



Electrical

GFCI receptacles and weatherproof receptacle covers recommended at exterior.



HVAC: Heating: Heating Fuel

Recommend installing a drip leg at gas line for the furnaces.



HVAC: Heating: Condensate Drainage

The HVAC condensation drain terminated less than 12 inches from the home's foundation. This can allow water to collect near the structure and contribute to moisture intrusion or foundation settlement over time. Recommend extending the drain line to discharge further away from the home.



HVAC: Heating

Improperly installed flue connection with visible gap at furnace. Potential for exhaust gas leakage. Recommend repair.



HVAC: Heating

Flex duct improperly secured at air handler. Tape used in lieu of proper fastening. Air leakage likely. Recommend correction.



Plumbing

Exterior hose bib leaks during operation. Recommend repair / replacement as needed.



Plumbing: Water Heater: Fuel

Recommend installing drip legs at gas supply lines as needed. None visible.



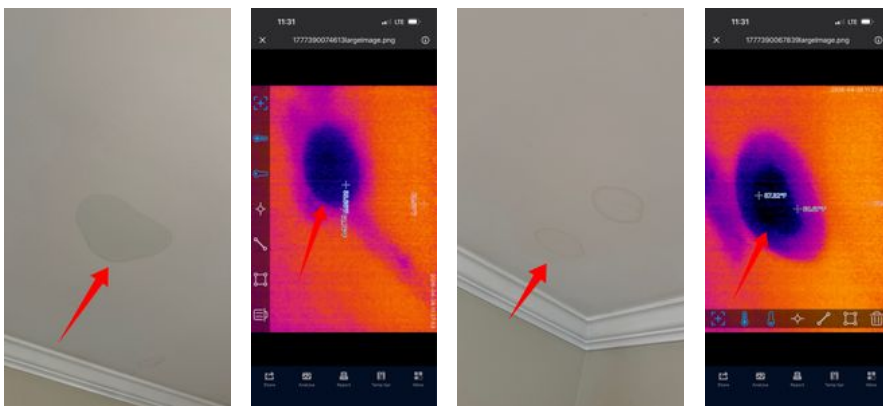
Interior: Walls

Moisture damage noted at wall base/corner. Likely ongoing or recurring. Source unknown. Recommend evaluation and repair.



Interior

Ceiling is actively wet with visible staining. Source unknown. Recommend immediate evaluation and repair.



Kitchen: Appliances: Range

No anti-tip device installed at time of the inspection. This is a child safety concern.



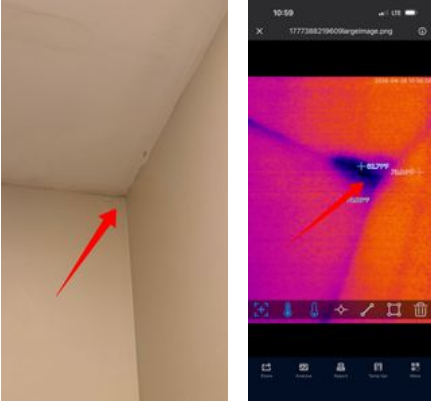
Bathrooms: Bathroom #1: GFCI Protection

GFCI receptacles recommended within 6' of water sources. (Kitchen, bathroom (s), laundry room, etc.)



Bathrooms: Bathroom #2: Ventilation Type

Active moisture noted at master bathroom ceiling above toilet. Thermal anomaly and visible damage present. Source unknown. Recommend immediate evaluation and repair.



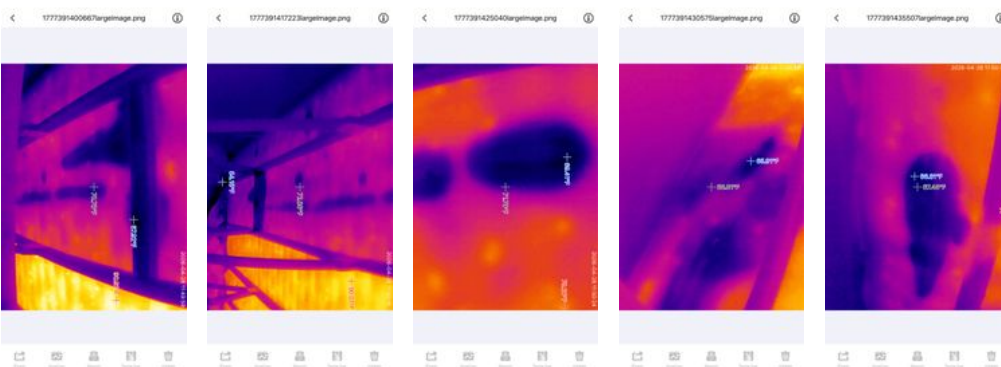
Laundry: GFCI Protection

GFCI receptacles recommended within 6' of water sources. (Kitchen, bathroom (s), laundry room, etc.)



Structure: Attic: Roof Deck Material

Thermal anomalies noted at roof sheathing/drywall interface consistent with possible moisture intrusion. Recommend further evaluation.



Structure: Attic

improper fire separation with openings—needs to be sealed and corrected, not just cosmetically patched.

